

S E V E N  O A K S
Property Owners' Association

A Distinctive Residential Community

**Master Development
Design Guideline**

Revised, November 16, 2023

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INTRODUCTION

SEVEN OAKS COMMUNITY OVERVIEW

Seven Oaks is a family oriented residential community offering a wide selection of housing types and price categories ranging from townhomes to large custom homes. *Seven Oaks* offers a variety of amenities including the multi-million-dollar community center with athletic courts and water park, an extensive natural conservation area and an expansive park and bicycle path system. *Seven Oaks* is located in south central Pasco County in Wesley Chapel, and is part of the thriving area known as "New Tampa."

Seven Oaks also contains a significant office and retail component concentrated along its State Road 56 and State Road 581 frontage.

THE MASTER DEVELOPER

The Master Developer of *Seven Oaks* is SB Associates Limited Partnership, a Henry Crown Company, and an affiliate of Crown Community Development. Other Crown Community Development master planned communities include Stonebridge Country Club, Oakhurst, Oakhurst North and the Villages at Meadow Lakes in west suburban Chicago, Illinois as well as The Bayou Club in Largo, Florida.

RESPONSIBILITIES OF THE MASTER DEVELOPER

The Master Developer provides design and construction of the infrastructure network necessary to proceed with home construction. The infrastructure includes the following:

1. Installation of public roadways with streetlights.
2. Installation of domestic and fire water lines, sanitary sewers and common storm water management flood control systems.
3. A distribution system for telephone, CATV, electric and gas service.
4. Approval of the installation of parkway street trees in front of each residence.
5. Development of common spaces such as project entrances and landscape easements, recreational features and road rights of way.
6. Establishment of a Property Owners Association. During the initial development, the Association will be managed by the Master Developer.
7. Creation of a Community Development District to finance, construct and maintain common areas, parks and recreational facilities.

DESIGN GUIDELINES OVERVIEW

All homes proposed for construction in *Seven Oaks* are subject to the review and approval of the Master Developer. The Developer reviews and approves all aspects of new construction (and later modifications) of the home including landscaping, patios and decks, swimming pools, whirlpools or other pools, shutters, awnings, fences, accessory buildings, play structures, painting or other alteration of a dwelling including

INTRODUCTION

doors, windows and roof, and other exterior construction or outdoor ornamentation.

Design Guidelines are established to ensure and implement consistent and high quality design standards. They serve as a framework for design concepts, and provide performance and quality standards that guide the design and construction of the variety of housing types in Seven Oaks. The developer reserves the right to establish more restrictive Design Guidelines for individual neighborhoods within Seven Oaks

No home may be started without the Developer's final approval of the building plans and specifications. The plans and specifications must meet the minimum Design Review Submittal Requirements outlined on page four.

SB Associates, the Master Developer, reserves the right to revise and update the design criteria as well as the performance and quality standards at any time in order to respond to future community requirements as well as to new product development and innovations within the home building industry

SECTION ONE: DESIGN REVIEW PROCESS

The design review process consists of the Master Developer (for all review and approval of new construction and SOPOA's Design Review Committee (for all home resident modifications). Residents desiring to make changes to their homes should use the AMR Form found online at sevenoakslife.com. The form along with any other plans or specifications should be forwarded to the property manager's office shown on the form.

FUNCTIONS OF THE DESIGN REVIEW COMMITTEE (DRC)

The DRC evaluates each of the housing units proposed for construction to assure conformity with the design criteria, performance and quality standards set forth in the Design Guidelines as well as compatibility with the adjoining sites and common spaces.

If conflicts arise between the submitted application and the Design Guidelines, the DRC shall have the sole discretion to interpret the standards and render a decision.

The DRC has the right to grant variances from the Design Guidelines in accordance with the Declaration of Covenants, Conditions and Restrictions.

The DRC has the right to monitor and oversee the design and construction process in order to ensure conformance with the approved plans and the standards set forth in the Design Guidelines.

The DRC shall review and respond to each submittal within thirty (30) days. Unapproved submissions shall be returned to submitter for revision and re-submittal. All approvals will be in writing.

MODIFICATIONS

The Design Review Committee (DRC) shall have exclusive jurisdiction over modifications, additions, or alterations made on or to existing structures in accordance with the Declarations of Covenants Conditions and Restrictions and Master Development Design Guidelines. All modification requests must be submitted using the "Architectural Modifications Request" found in online.

NOTE: Certain modifications, additions or alterations may not be allowed at The Villas at Edenfield, Villas of Deer Run, Villas at Willow Creek or Lakeside Town Homes. Residents of these neighborhoods should consult the homeowners' associations of their respective neighborhoods.

Allowable modifications, additions or changes at *Villas at Willow Creek* are subject to the approval of the Seven Oaks DRC alone.

SECTION ONE: REVIEW PROCESS

Allowable modifications, additions or changes at *The Villas at Edenfield*, *Villas of Deer Run* or *Lakeside Town Homes* are subject to review by Seven Oaks DRC and the architectural control or review committee of the respective homeowners' association.

SECTION TWO: SITE STANDARDS

BUFFER AREAS- SCREEN PLANTING EASEMENTS

Easements have been provided to buffer some adjacent roadways. No buildings, fences, driveways or permanent structures shall be constructed within screen planting easements.

TREE PRESERVATION

No trees may be removed without the express written approval of the Design Review Committee. Locations, sizes, and species of all existing trees must be shown on lot surveys and building site plans submitted for design review. Pasco County's tree preservation ordinance must also be followed.

SECTION THREE: HOME CONSTRUCTION STANDARDS

MONOTONY CONTROLS

Housing colors should not be repetitive from lot to lot along the neighborhood street. Rather, a variety of house colors are encouraged. The monotony controls exist to prevent duplicate house colors in close proximity to each other. Houses shall be required to have sufficient differences in both front elevation and color schemes which, in the opinion of the DRC, make them significantly different from each other. They are not designed to preclude all similarities between properties.

The following situations are subject to the monotony code:

1. Two houses on each side of a proposed home that all face the same street.
2. The house directly across the street from a proposed home.
3. One house on each side of the house directly across the street from the proposed home.
4. On small, tight cul-de-sac circles, any house that faces or is diagonally across the cul-de-sac from a proposed home.

BUILDING HEIGHTS

The height of single-family detached residences shall be a maximum of thirty-five (35) feet. Residences shall not be more than two stories. Trees of suitable height shall be planted near the building to help provide the proper vertical scale relationship.

BUILDING ELEVATIONS

The front elevation of all homes shall have banding or detailing around exterior windows. Side and/or rear elevations of houses on lots adjoining parks, common areas, right-of-ways and open space shall have banding or detailing around exterior windows similar to the front elevation. The side elevation of houses on corner lots shall have banding or detailing around exterior windows on the side facing the roadway.

Major roof ridgelines that terminate in a gable end condition on the rear elevation of the home are not permitted adjacent to Seven Oaks' collector roadways.

NOTE: Homes in Watermark of less than seventy feet in width must have banding or detailing around exterior windows on both side elevations.

BUILDING AND STRUCTURE PROJECTIONS

All projections from a residence or structure including, but not limited to, vents, chimney flues, gutters, downspouts, fences, utility boxes, porches, railings, and exterior stairways shall match the color of the surface from which they project, or shall be of a compatible color subject to approval of the Design Review Committee.

SECTION THREE: HOME CONSTRUCTION STANDARDS

MATERIALS AND COLOR SCHEMES

Exterior surfaces will be generally of natural materials that blend and are compatible with the natural Central Florida landscape. Wood or masonry such as brick, stone, wood, split rock, or stucco may be used but are subject to approval by the DRC. All gable ends shall be constructed of materials compatible with the house.

No plywood, vinyl, T-111, aluminum siding or hardboard composition material will be approved on any area of the residence, however the DRC will consider new construction materials and technologies.

The DRC may require a sample of any exterior materials. Prior to ordering and/or installing any materials, please consult the DRC to determine if a sample will be required for DRC review.

The color of exterior materials must be generally subdued to enhance the colors of the natural landscape. Earth tones, generally muted, are recommended, although occasionally accent colors used with restraint may be approved by the DRC.

NOTE: Exterior color changes at The Villas at Edenfield, Villas of Deer Run and Lakeside Town Homes are subject to the approval of the DRC and the architectural control or review committees of the respective homeowners' associations.

ROOFS

Mansard and flat roofs will not be allowed. Pitch of roof shall be shown on preliminary plans and shall be subject to approval of the DRC. All required roof breaks and major roof ridgelines shall be a minimum pitch of 5:12. The major roof ridgeline shall be defined as the overall ridgeline as viewed from the front and both sides of the residence in elevation view. Minor roof pitches less than 5:12 may be considered by the DRC provided:

1. The reduced roof slope encompasses not more than a maximum of 20% of the total roof area and
2. The reduced slope does not encompass any of the required roof breaks and major roof ridgelines as described above.

All front elevations shall have a minimum of two roof breaks.

Major roof ridgelines that terminate in a gable end condition at the rear of the home are not permitted adjacent to Seven Oaks' collector roadways. Variations on specific designs may be used with DRC approval. The minimum soffit depth of twelve (12) inches is required with a minimum of a 6-inch fascia trim. Appropriate roof materials include cement tile and asphalt and fiberglass shingles.

SECTION THREE: HOME CONSTRUCTION STANDARDS

All roofs shall be of a material, color and texture approved by the Design Review Committee. Standing-seam metal roofs with baked-on color finish may be used sparingly for architectural accent. Red and blue asphalt or fiberglass roofs are prohibited. Green asphalt or fiberglass roofs shall only be installed with DRC approval. All roof vents, plumbing stacks, flashing and metal chimney caps shall be painted to match the approved roof colors. Vents and plumbing stacks should be placed on rear slope of roof if possible

Solar Roofs/Tiles must be consistent with the approved shingle colors.

CARPORTS

Carports are not allowed in Seven Oaks.

DECKS AND PATIOS

All proposed deck/patio installations must be submitted to and approved by the Seven Oaks Design Review Committee prior to installation.

The following information must be included with each submittal:

1. Two copies of a final survey with the house footprint indicating the exact location, size, and distance from side and rear property lines of the proposed deck/patio installation. Hand drawn sketches of lot boundaries are not acceptable.
2. The complete dimensioned construction details of the deck/patio including: size, type of lumber and other materials, finish, style, height from ground to base-board, and vertical elevation details of all railings, seats, privacy walls and stairs.
3. If relevant for patio enclosures, see also SCREENED ENCLOSURES.

Material Requirements: Approved deck materials are pressure-treated pine, redwood, cypress and Ultra-violet Resistant PVC. Deck skirting must be of 1" thick lattice or Ultra-violet Resistant PVC lattice. Patios must be of concrete, brick or interlocking paver materials.

Decks more than 18" above grade must

SECTION THREE: HOME CONSTRUCTION STANDARDS



Decks more than 18" above grade must have lattice screening under the deck.

have lattice screening under the deck.

Color Requirements: Wooden decks must be left natural or stained in clear or wood tone colors only. Painted decks must match the main exterior color of the house or be painted white. Submit a color sample for PVC decks. Patio concrete, paver or brick material colors should complement the house's main exterior color.

No deck/patio construction is allowed to extend into a screen planting easement or required side setback. No deck shall be constructed within five (5) feet of a rear lot line. Decks more than 18" above grade must have lattice screening under the deck.

GARAGES, PARKING AND DRIVEWAYS

Garage doors shall be equipped with automatic garage door openers. All garage doors must be paneled but may have window relief. No overnight on-street parking will be allowed. No boats, trailers, or recreational vehicles of any kind shall be stored outside the residence. Vehicles shall be parked in the garage or driveways but must not block public sidewalks.

Driveways

A minimum five (5) foot buffer between the edge of driveway pavement and the property line must be provided. Flares at curb are required for ease of driver when entering driveway.

All driveway surfaces may be broom finished concrete, interlocking brick pavers, or stamped concrete. Concrete driveways may be stained (**not painted**) with approved stain colors. Approved stain may be clear, brown stain toner colors, or grey stain toner colors. No medallions are allowed in driveway. No mulch or

SECTION THREE: HOME CONSTRUCTION STANDARDS

blacktop asphalt driveways will be allowed. Approval of brick paver or stamped concrete driveway is contingent upon execution of Agreement with Seven Oaks Community Development District (contact DRC for Agreement) as well as design and material approval.

Homes constructed with two car garages shall have driveway widths no more than the width of the garage door(s) plus two (2) feet maximum on each side of door(s) not to extend beyond the side plane of the house. 2ft extension must stop at the sidewalk.

Homes constructed with three car garages may extend the edge of the driveway a straight line to the sidewalk. It may not extend past the sidewalk to the curb as this is CDD property and cannot be altered.

All driveway alterations shall be the same material and finish as the existing driveway or pavers, no stepping stones are permitted. All alterations must be approved by the DRC.

POOLS AND SPAS

Pools and spas shall be located with respect to the main structure and relationship to the sun in both summer and winter. Features such as existing trees, noise from pool equipment and views from adjacent properties can seriously impact the usage and enjoyment of pools and spas and shall be carefully considered before final placement is selected.

Swimming pools shall not be above ground. Swimming pools shall be designed to connect visually to the residence through landscaping and/or courtyard paving. Swimming pools shall not be permitted on the street side of the residence.

All pool and spa equipment shall be screened so that it is not visible from any street, common area (lake) or adjacent property. Screening or buffering may be accomplished by the use of walls and/or landscape materials providing 100% opacity.

Pools shall be enclosed by a screened enclosure or may be fenced with PVC fencing material. Fences must meet local ordinances and the Seven Oaks approved fence standards.

NOTE: Residents of Lakeside Town Homes are not allowed to install swimming pools, whirlpool spas or hot tubs.

SCREENED ENCLOSURES

All screened enclosures shall be constructed with white or bronze frames and charcoal

SECTION THREE: HOME CONSTRUCTION STANDARDS

screen material. Mill-finish aluminum is not permitted. Flat roofs will not be allowed. A composite ceiling may be installed. Screened enclosures may include a composite roof as well as pitched aluminum composite. Pitch of screen roof shall be shown on preliminary plans and shall be subject to approval of the DRC.

Screened Patios/Lanais are permitted with a composite metal or shingled roof but are subject to DRC approval and you must have county approval and permit.

Pool enclosures cannot exceed one story without prior DRC approval. Pool screened enclosures must not extend beyond the sides of the residence.

Landscaping must be incorporated to help modulate and soften the overall appearance of the screened enclosure for pools and spas. For screened enclosures without a pool or spa, landscaping to modulate and soften the overall appearance is only required if the screened enclosure is visible from any collector roadway or if the enclosure is constructed on a corner lot along an interior roadway.

MAILBOXES AND HOUSE NUMBERS

Resident is responsible for purchasing and installing mailbox. Only one style, shape and color of mailbox is permitted in Seven Oaks. A drawing detailing the required mailbox is located in EXHIBIT A, along with a recommended vendor. If the homeowner desires to purchase the mailbox from a different vendor, the specifications of the mailbox in the exhibit must be followed exactly. The address number will be placed on the mailboxes as shown in EXHIBIT A.

Holiday decorations (conforming to appropriate time frames) or yellow ribbons honoring those serving in the armed forces are allowed on mailboxes but mail delivery must not be hindered and all postal regulations must be followed.

A house number will be located on each home as directed by Pasco County.

NOTE: Lakeside Town Homes receive mail delivery at a central mail kiosk and are not subject to the mailbox requirements above and in EXHIBIT A.

SIDEWALKS

Entry walks to home must commence at the driveway and terminate at the front door/porch and not terminate at a public sidewalk. It shall be the responsibility of the homeowner to properly maintain sidewalks located within their property lines.

GUTTERS

Gutters require DRC approval. They may be white or must match the body or trim color

SECTION THREE: HOME CONSTRUCTION STANDARDS

of the home.

VILLAS AND TOWN HOMES

Seven Oaks recognizes that villas and town homes are unique residences and generally employ more restrictive covenants than those contained in the Seven Oaks Master Development Design Guidelines and the Declaration of Covenants, Conditions and Restrictions of the Seven Oaks Property Owners' Association, Inc. Homeowners in villa and town home neighborhoods should consult the Declaration of Covenants, Conditions and Restrictions for their neighborhood homeowners' association for additional information regarding their specific neighborhood standards.

NOTE: Modifications, additions or changes at Villas at Willow Creek are subject to the approval of the Seven Oaks DRC alone.

Modifications, additions or changes at *The Villas at Edenfield*, *Villas of Deer Run* or *Lakeside Town Homes* are subject to review by Seven Oaks DRC and the architectural control (or review) committee of the respective homeowners' association.

WINDOWS AND WINDOW BANDING

Only white window frames are allowed.

Window banding or detailing is required on all front elevations. Banding or detailing is also required on side and/or rear elevations of homes that adjoin neighborhood parks, common areas, right-of-ways and open space. This includes exterior windows on the side or rear elevations of homes along collector roadways that are visible to those roadways.

On corner lots, window banding or detailing is required on the side elevation facing the roadway.

NOTE: Homes in Watermark of less than seventy feet in width must have banding or detailing around exterior windows on both side elevations.

SECTION FOUR: LANDSCAPE STANDARDS

The information provided in Section Four covers standards for all neighborhoods in Seven Oaks. For additional information concerning specific neighborhood standards, please consult Section Six.

LANDSCAPE

Landscape Architecture of each home site is extremely important for the maintenance of a visually attractive community and investment protection of the homeowners. To ensure the overall beauty of the community, the Design Review Committee (DRC) has the authority to approve or disapprove landscape plans. It is the intent of the DRC to implement Pasco County Ordinances and Southwest Florida Water Management District guidelines promoting the use of Xeriscape-type or "Florida Friendly Landscapes." These are "quality landscapes that conserve water, protect the environment, are adaptable to local conditions and are drought tolerant."

General Guidelines:

A landscape plan and irrigation plan shall be prepared or approved by a registered Landscape Architect as authorized by Florida Statutes Chapter 481, as amended, or other type of professional as approved by the Pasco County Administrator or his designee. The plan shall be prepared at a minimum scale of 1" = 20' and will be based upon the final site plan and architectural elevations of the residence. The landscape plan and irrigation plan shall be submitted to the DRC with Final Plans prior to construction activities on-site.

Submitted landscape plan shall show lot calculations in terms of square footage. Total lot square footage shall be indicated with a breakdown of impervious/built area and remaining pervious/non-built area shown. Calculations indicating square footage of undeveloped lot area to be landscaped (20%), square footage of areas to be sodded (80%), and required number of canopy shade trees shall be included on plans.

All landscaping and irrigation shall be designed and installed in accordance with the "Pasco County Landscaping and Irrigation Ordinance" and "DRC Landscape Guidelines." Industry standard specifications regarding landscape installation, mulch (3" layer), fertilization, sod and plant quality (Florida Grade No.1) are to be included on the submitted plans.

Single Family Detached Landscape Guidelines

Minimum requirements for landscaping on single family detached residential home sites are as follows:

Tree Requirements

SECTION FOUR: LANDSCAPE STANDARDS

One canopy tree per 2,800 square feet of gross lot area and one under-story tree per lot shall be planted on-site. Palms may count toward this requirement at the ratio of 3 palms (10' clear trunk) grouped together per 1 canopy tree. Palm trees may be substituted for up to thirty percent (30%) of the required canopy shade trees. Additional palms may be planted on-site, however, they will not count towards meeting the canopy tree requirement. (See Exhibit C for Palm Tree Accents.) Square foot fractions of gross lot area are rounded up. Existing trees may count toward meeting these minimum requirements. Street trees along roadway do not count toward meeting these requirements. (Examples: Lots measuring 50' x 110' shall have a minimum of 2 canopy trees and 1 understory tree per lot.)

Canopy shade trees and understory trees shall be selected from the Seven Oaks Plant Material Palette. Trees shall be nursery grown and not field collected.

Winter-dug, balled and burlap wrapped trees or containerized trees will be acceptable. No grow bag or bare root trees will be accepted. All trees and shrubs shall be Florida grade No.1, or better, according to the "Grades and Standards for Nursery Plants," Parts I and II, State of Florida, Department of Agriculture and shall conform to American Association of Nurserymen standards for nursery stock.

Waterfront lots may be required to select trees from the recommended plant material palette for rear yard areas that will conform to water-loving species such as Bald Cypress, Red Maple, Sweet Gum, and Weeping Willow. See [Exhibit C](#) Plant Material Palette and Prohibited Plant Material List.

Tree Sizing

Trees shall be measured for caliper size six inches (6") above finished grade. Minimum size for canopy trees is 4-inch caliper, 14-foot to 16-foot height (minimum) by 6-foot to 7-foot spread (minimum) with a full canopy and straight trunk. Understory trees shall be 10-feet to 12-feet in height by 5-foot to 6-foot spread typical, however smaller accent trees may be approved by the DRC upon review of the Landscape Plan.

Street Trees

Shall be a minimum size of 3-inch caliper, 14-foot height (minimum) and 6-foot spread (minimum) with a full canopy and straight trunk. No low forks will be accepted on street trees. Street trees shall be uniform in size and species within each individual neighborhood. There shall be no tolerance with regard to under sizing of street trees. Undersized trees shall be removed and replaced as required by the DRC.

Tree Spacing

Street trees shall be planted every forty linear feet (40') of roadway frontage or as mandated by current Pasco County Ordinance. Minimum spacing for canopy and

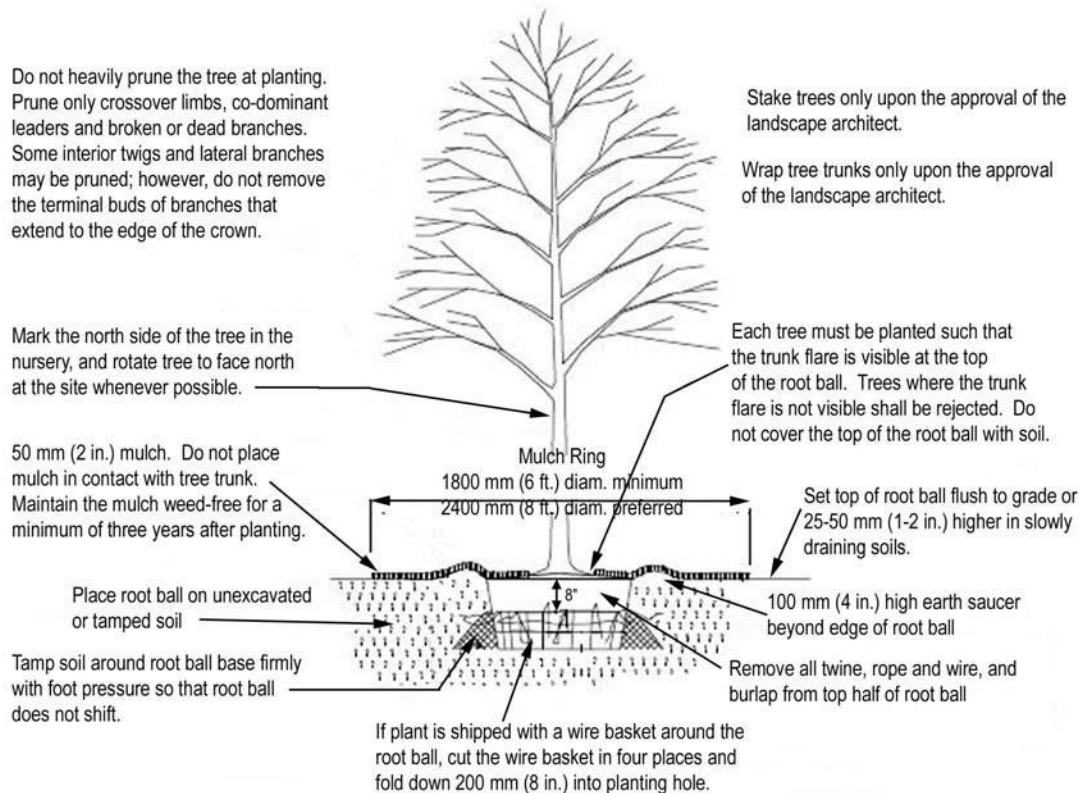
SECTION FOUR: LANDSCAPE STANDARDS

understory trees is twenty feet.

Tree Planting

Installation of all trees (including street trees) shall be in accordance with the following International Society of Arboriculture Tree Planting Detail:

TREE PLANTING DETAIL - B&B TREES IN ALL SOIL TYPES



NOTE: This detail assumes that the planting space is larger than 2400 mm (8 feet) square, open to the sky, and not covered by any paving or grating.

Tree Credits

Credits for larger trees will be given and larger tree plantings are encouraged by the DRC as follows: a 6-inch caliper tree will be given credit as two 4-inch caliper trees, however Pasco County Landscape Ordinance requirements supersede this requirement. Minimum requirements for tree placements in front and rear yard areas shall be met.

Existing Tree Removal

SECTION FOUR: LANDSCAPE STANDARDS

No existing trees greater than four (4) inches in diameter at breast height shall be removed or cut without the approval of the DRC. Tree removal permits must be obtained in accordance with Pasco County regulations. Builders and homeowners shall comply with the "Pasco County Tree Protection and Restoration Ordinance."

Shrubs and Groundcovers

Twenty percent (20%) of the lot's pervious area shall be planted with approved shrubs and groundcovers complementing the structures and providing screening and buffering as required. Landscape plan must include calculations to verify the 20% coverage. The pervious area is that portion of the lot excluding home, driveway, pool, etc.

A minimum of thirty percent (30%) of the required landscape plantings shall be planted in the rear yard area to modulate screen enclosures and rear building exposure.

A minimum of thirty per cent (30%) of the required landscape planting shall be planted in the side yard area on corner lots to modulate screened enclosures and side building exposure.

Shrub sizing

Minimum size for shrubs shall be 3-gallon container size with a height of 24". Accent shrubs are recommended to be 7 to 15-gallon container size. Minimum size for groundcovers is a 1-gallon container and 4-inch pot for annuals. See Plant Material Palette and Prohibited Plant Material List for recommended plant

Shrub Spacing

Spacing of shrubs shall be based on good horticultural practice and industry standards allowing for future growth of the plant materials with the maximum spacing for most shrubs being 30 inches to 36 inches on center. Spacing for hedges and screens may be 24 inches to 30 inches on center. Typical spacing for groundcovers is 18 inches on center with 24 inches maximum.

Sod

The balance of the lot not planted with shrubs or groundcovers shall be sodded with St. Augustine "Floritam." Argentine Bahia sod may be installed but only in rear yards in order to provide turf areas that are more drought tolerant and require less irrigation. Bahia sod may also be used in swales or low areas that retain water. Only solid sod shall be installed and no plugging or sprigging will be allowed.

Maintenance

Home owners are responsible to maintain landscaping including tree trimming, edging, and grass cutting for the property and easements adjacent to their property

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including berms, ponds, and tree lawns.

Drought Tolerant Species

In compliance with the "Pasco County Landscaping and Irrigation Ordinance," a maximum of fifty percent (50%) of the plant materials used, other than trees, may be non-drought tolerant. The use of turf grass varieties with excellent drought tolerance may exceed the fifty percent (50%) limitation. A minimum of thirty percent (30%) of the plant materials, other than trees and turf grass, shall be native Floridian species, suitable for growth in Pasco County.

Mulch

Dyed or artificially-colored mulch is prohibited. Black and Brown mulch only. Pine bark mulch or pine straw is recommended. Mulch should be installed in a three-inch (3") layer. Rubber mulch and rocks of natural colors (earth tones) are allowed but will be reviewed on a case-by-case basis by the DRC.

Variety of Species

No one species of tree, shrub or groundcover, excluding turf grass shall constitute more than twenty-five percent (25%) of each category type.

Pasco County Ordinances: Contact Pasco County for Information regarding Pasco County Ordinances.

NOTE: Master landscaping and irrigation plans have been approved by the DRC for The Villas at Edenfield, Villas of Deer Run, Villas at Willow Creek and Lakeside Town Homes. Individual owners may not alter, remove or add landscaping or irrigation in any of the above neighborhoods without the approval of the DRC and the respective homeowners' association.

IRRIGATION

All residential single family detached home sites shall install and maintain an underground, fully automatic, 100% coverage irrigation system utilizing micro-irrigation for 50% of the on-site green-space.

The "Florida Irrigation Society" (FIS) Standards (3rd Edition, February 1996, as amended), which is incorporated herein by reference, should be used for all irrigation design and installation procedures, except where the requirements of the Pasco County Ordinances supersede the FIS standards.

An irrigation plan at a scale of 1" = 20' must be submitted to the DRC for review. The plan shall indicate the location, type and size of water meter, backflow prevention device, automatic and manual valves, valve boxes, spray heads, rotor heads, mainline piping, lateral zone piping with sizes indicated, time clock, automatic rain sensor/shut-off

SECTION FOUR: LANDSCAPE STANDARDS

device, sleeves, wiring, etc. for 100% irrigation coverage of all landscape materials and turf areas.

The plan shall indicate the water source and where available, reclaimed wastewater shall be used for landscape irrigation. Check proposed plant materials for suitable plants when reclaimed water is being used for irrigation.

In accordance with the Pasco County Ordinances, a maximum of fifty percent (50%) of the on-site green-space (landscaping and turf grass areas) shall be allowed to utilize irrigation techniques other than micro-irrigation. The irrigation system shall be designed to accommodate separate landscape plant zones based on differing water requirements. Turf areas shall be on separate irrigation zones from other landscape plant zones.

Sprays and rotors shall have matching application rates within each zone. Sprays and rotors shall not be combined on the same irrigation zone. Sprinkler and rotor head placement shall not exceed fifty-five percent (55%) of the sprinkler's diameter of coverage.

All irrigation systems shall be designed to avoid over-spray, runoff, or other similar conditions where water flows onto or over adjacent property, non-irrigated areas, walkways, roadways, structures, or water features. Narrow areas shall not be irrigated unless micro-irrigation is utilized. It is recommended that street trees and canopy trees be provided with micro-irrigation coverage on a separate zone for optimum controlled watering time.

Irrigation control equipment shall include an operable and functioning automatic irrigation controller (time-clock) having program flexibility such as repeat cycles and multiple program capabilities. Automatic irrigation controller(s) shall have battery back-up to retain the time and irrigation program(s). Automatic irrigation control systems shall be equipped with an operable and functioning rain sensor device with automatic shut-off capability. The rain sensor device shall be placed where it is exposed to unobstructed natural rainfall.

LANDSCAPE & IRRIGATION MAINTENANCE

The landscape and irrigation system shall be maintained and managed to ensure efficient water use and to prevent wasteful practices. It shall be the responsibility of the homeowner to properly maintain all trees including street trees, shrubs, groundcovers, turf and irrigation. Homeowners shall comply with watering times as mandated by the Southwest Florida Water Management District and Pasco County.

In the event that any tree, shrub, groundcover or turf area exhibits signs of decline or pest infestation, the homeowner shall take immediate action to remedy the problem. If the trees, plant materials or turf dies, then the homeowner shall immediately remove the dead material and replace with new material to meet the specifications of the original

SECTION FOUR: LANDSCAPE STANDARDS

landscape plan. The homeowner may propose a substitute to the DRC for the material being replaced.

The irrigation system shall be monitored to apply the correct amount of water for trees, shrubs, groundcovers and turf areas. The irrigation system will be run and water applied according to local governing requirements. No over spray of walks, streets or adjacent property is allowed.

Irrigation Maintenance includes, but is not limited to: resetting the automatic controller according to the season; cleaning irrigation filters; testing and calibrating the rain sensor device; monitoring, adjusting and repairing irrigation equipment to ensure the efficiency of the system is maintained. Grass should be cut away from spray and rotor heads (re-setting as necessary) for optimum spray pattern and trajectory.

Landscape Maintenance includes, but is not limited to:

1. Removing guy-wires and supports from trees and palms after establishment of the root zone.
2. Replenishing mulch in order to maintain a 3" depth after compaction.
3. Fertilization and soil amendments for landscaping and turf according to industry standard practices for optimum growth and longevity.
4. Pruning of plant material on a monthly basis and cutting of turf grasses on a weekly basis at a height recommended by landscape professionals.

NOTE: At *The Villas at Edenfield, Villas at Willow Creek, Villas of Deer Run and Lakeside Town Homes*, the respective homeowners' association is responsible for landscape and irrigation maintenance instead of individual homeowners.

EXTERIOR LIGHTING

Any exterior house lighting for aesthetic purposes shall be kept close to the exterior wall of the house. Lighting fixtures shall be carefully oriented to avoid directing light towards adjacent property and the street. No light trespass will be permitted onto adjacent properties. No color light sources shall be allowed unless Holiday lighting. See also: HOLIDAY LIGHTING AND DECORATIONS in SECTION FIVE.

FENCING

Fencing is discouraged within Seven Oaks and is permitted only in specific areas and only as approved by the DRC. Fences are not permitted on home sites along common areas or upland conservation areas. The design criteria for fencing has been established to allow containment areas for small children and pets where lots adjoin lakes and wetland conservation areas. In order to preserve the views of neighboring

SECTION FOUR: LANDSCAPE STANDARDS

homes, fence styles and heights are restricted.

NOTE: Residents are not allowed to install fences in the following neighborhoods--*The Villas at Edenfield, Villas of Deer Run, Villas at Willow Creek and Lakeside Townhomes.*

All proposed fence installations must be submitted to and approved by the DRC prior to installation. (Sample forms for DRC submittals are found in EXHIBITS A and D.) Fence location shall be submitted along with the Site Plan and will be reviewed with the Site Plan. The Site Plan will not be approved without the fence location.

The following guidelines apply:

Fence Specifications

Fencing will be either White PVC or Black Aluminum

1. White PVC Requirements:

- Fencing shall be solid-wall 100% virgin PVC fence that is constructed from high-quality materials, stabilizers and modifiers throughout the entire extruded profile. No PVC co-extrusions or vinyl-clad wood products will be permitted.
- Six (6) foot "privacy" fencing with twelve (12) inch lattice panels shall be as shown in EXHIBIT D. All post caps are to be "traditional" style caps.
- Four (4) foot "containment" fencing shall be of either scallop or straight picket design with three (3) inch wide pickets and two (2) inch spacing between
- pickets. (See EXHIBIT D for example.)

2. Black Aluminum Requirements:

- Avalon Style with double top rail.
- 1" x 1" channels • 5/8" x 5/8" pickets spaced 3-7/8" apart
- 2" x 2" posts on 72" centers
- Standard post caps
- Powder coated finish
- Concrete around each post
- 48" or 60" height

(See EXHIBIT D for example.)

Locations for Privacy Fencing

SECTION FOUR: LANDSCAPE STANDARDS

Privacy fencing allowed as side and rear yard fencing:

- **Rear yard** privacy fences are permitted ONLY where one home site adjoins another home site back-to-back. When the back-to-back condition has been met, the side yard may have privacy fencing that starts fifteen (15) feet beyond the front of the house and extends to meet the rear privacy fence.
- **Side yard** fences will not be permitted within fifteen (15) feet of the front of the house. The fifteen (15) feet shall be measured from the front horizontal boundary of the structure, not including the garage.
- **Side yard** privacy fences (on lots that are not back-to-back) will not be permitted to extend beyond the rear plane of the house. The rear plane of the home is based upon the structure and not patios, screened enclosures or pools.

Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. You may request specific information on your corner lot setbacks prior to submittal of a plan.

If the fence is visible to other Seven Oaks' home sites, roadways, or common areas, landscape buffering will be required, except fencing installed on the property lines separating home sites, backing to ponds, or conservation by DRC approval.

Locations for Containment Fencing

Containment fencing may be permitted in rear yards (beyond the rear plane of the house) ONLY along lakes and wetland conservation areas

Locations of Both Privacy and Containment Fencing

1. No fences will be permitted in the front yard.
2. Fences cannot be placed on landscape or drainage easements.
3. Fences may extend into utility easements at the owner's risk.
4. Fence requirements in Seven Oaks may be more restrictive than those contained in Pasco County's fence ordinance. The Seven Oaks fencing design guidelines will prevail in this instance.

FOUNTAINS

All fountains must be approved by the Design Review Committee prior to installation. Fountains may not exceed sixty inches (60") in height or width and shall not encroach upon easements or setbacks. Fountain water shall be kept fresh and only fountains with a re-circulating pump system may be installed. Fountains must be placed in appropriately landscaped beds.

OUTSIDE ORNAMENTS

SECTION FOUR: LANDSCAPE STANDARDS

All lawn ornaments, statues, figurines, sculptures, etc. must be approved by the Design Review Committee prior to installation. A picture or detailed description of the item must be submitted with the request, along with the proposed location for the structure which shall be located in a landscaping bed and not encroach on any easements or setbacks.

Ornaments, statues, figurines, sculptures, etc. shall not be more than forty-two inches (42") in height, width or depth. The materials and color used shall be generally subdued and in harmony with the natural surroundings of the home, lot and community. No bright colors, unusual materials, offensive or obscene items will be approved. No more than three ornaments, etc. (excluding holiday decorations) shall be permitted to be displayed at a single time.

Plastic or other artificial flowers shall not be placed on the exterior of the residence so that they are visible from the street except for decorative door decorations.

SCREENING AND BUFFERING

Water softeners, sprinkler controls, trash containers and other similar utilitarian devices must be fully screened from view and not visible from roadways, adjoining property and common areas. Screening or buffering may be accomplished through the use of walls and/or landscape materials.

Air conditioning units shall be shielded and hidden so that they are not readily visible from the common areas or adjacent parcels. No window or through-wall air conditioning units shall be installed in any residential unit.

WALLS

Walls will be under scrutiny of the Design Review Committee to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood. Approval of walls by the DRC will be on a case-by-case basis.

Retaining walls will be faced with the same material as the structure it is in contact with or shall be made of compatible materials if it is a freestanding retaining wall. It is recommended that walls be constructed of solid masonry.

No walls will be permitted in the front yard.

NOTE: At Villas at Willow Creek, decorative columns at the juncture of driveway and sidewalk to residence are permitted only as designed and constructed by the developer of the villas. Residents may not construct walls or install hedges.

At Lakeside Town Homes, The Villas at Edenfield and Villas of Deer Run, residents are not allowed to construct walls or install hedges.

SECTION FIVE: OTHER STANDARDS

ACCESSORY BUILDINGS

Greenhouses, playhouses and other freestanding structures must be approved in writing by the DRC prior to construction. No storage sheds are permitted.

The following items must be supplied for submittal to the DRC:

1. Two copies of a final survey indicating the location of the house on the lot with the proposed accessory building in relationship to the existing house and all adjacent property lines. The survey must be drawn to scale and be fully dimensioned.
2. A color photo, brochure or scaled drawing showing what the new facility will look like.
3. A description of the exterior of the building specifying roofing, siding and trim materials and colors.
4. Two copies of a landscaping plan indicating the specific evergreen plants proposed as the landscape screening, including height and spacing at installation, height at maturity, quantity and species. Also indicate plant location on the final survey.

ANTENNAS & SATELLITEDISHES

Guidelines and procedures outlined in Exhibit B are established pursuant to Article VIII, Section 1, Paragraph M of the Seven Oaks Property Owners' Association's Declaration of Covenants, Conditions and Restrictions. These procedures will guide homeowners in the planning of all satellite dish and microwave antenna installations to assure the safest possible location and operation of satellite dishes while preserving and enhancing reasonable and consistent aesthetic standards.

FLAGS

Freestanding flagpoles require DRC approval and cannot exceed 20 ft high. Flags may be displayed on poles mounted on the fronts of houses. Flags may not exceed 3 feet by 5 feet in size and there shall be no more than one flag on any house. The only flags permitted are Florida State, American Flag and Military.

GARBAGE CONTAINERS

Storage of all garbage containers shall be in the garage or shall be fully screened from view, and are only permitted in the front yard after 6 p.m. on the day prior to collection day and on collection day.

SECTION FIVE: OTHER STANDARDS

HOLIDAY DECORATIONS AND LIGHTING

Winter holiday lighting and decorations shall be permitted to be placed upon the exterior portions of a residence and lot during a period commencing on Thanksgiving and continuing through January 15 of the following year. All lighting and decorations shall be totally removed by January 15.

Lighting and decorations for any holiday other than that referenced above shall be permitted for no more than a thirty-day period.

Offensive or obscene items will not be allowed. Installation of lighting or other items shall not hinder the use of public sidewalks or of the roadways. Care must be exercised in the placement of lighting and decorative items so that consideration is shown for neighboring homes and families.

PODS, TEMPORARY STORAGE CONTAINERS AND PORTABLE TOILETS

PODS and other temporary storage containers are allowed subject to the following conditions and require DRC approval:

1. there must be only one storage container at a residence at any time
2. the storage container must not be placed on the public sidewalk or on any roadway
3. containers may not remain at a residence longer than ten days
4. No portable toilets during construction.

PREPARATIONS FOR INCLEMENT WEATHER

At times, the National Weather Service will issue alerts and warnings for tropical storms or hurricanes for our area. Residents are urged to take all possible precautions to secure homes and property. Many local publications are available providing checklists and information for hurricane preparedness.

Storm shutters, plywood or tape to protect windows and sliding glass doors, may be installed two (2) days before an impending storm. The timing is based upon the National Weather Service or Hurricane Center's projected time of arrival of a storm. Protective devices should be removed within five (5) days after a storm has passed through the area.

Permanently installed storm shutters must be approved by the DRC. Residents of *Lakeside Town Homes* must also receive the approval of the Architectural Control Committee of the Lakeside at Seven Oaks Homeowners' Association, Inc.

SECTION FIVE: OTHER STANDARDS

PROPANE TANKS

The installation of propane tanks is subject to approval of the DRC. All large propane tanks shall be buried in front yards. The builder is responsible for contacting the utility locating service prior to digging. Tanks must be located outside of easements and any gauges or other devices appearing above ground must be screened in the front and on the sides by landscaping. The builder and/or homeowner shall be responsible for any damage to streets, sidewalks, landscaping or irrigation systems, and underground utilities, i.e. electric lines, telephone lines, cable television lines, potable water lines, reclaimed water lines, sanitary sewer lines, storm sewer lines and inlets during installation of tanks or during gas delivery or servicing of tanks. The builder and/or homeowner shall be responsible for any surcharges imposed by any utility company due to the installation of propane gas service to the home. The builder and/or homeowner are responsible for contracting with reputable, insured propane gas companies.

RECREATIONAL ITEMS

Play equipment shall be allowed but is restricted to rear yards. All play equipment must be submitted and be approved by the DRC prior to installation. The play area must be screened from the street by an approved fence or landscaping to a height of six feet above finished grade. Homes built on pie-shaped home sites may have portable play equipment extend beyond the side plane in the rear yard $\frac{1}{2}$ the distance from the front side plane of the house in a straight line to the side property line, but never forward of the rear plane of the house.

NOTE: Residents in The Villas at Edenfield, Villas of Deer Run, Villas at Willow Creek or Lakeside Town Homes may not install play equipment of any kind.

Basketball Standard Installation Specifications

All proposed basketball standard installations must be submitted to and approved by the Seven Oaks Design Review Committee prior to installation.

Basketball standards shall include a backboard made of clear acrylic in a rectangular or fan shape. Backboards may not contain team or advertising logos, bright colors or any type of advertising, other than the manufacturer's company identification logo.

Only black metal poles are allowed and must be installed or placed in a location based on one of the following:

1. At a minimum of 15 feet from the lot side of the public sidewalk and along the outside edge of your driveway or
2. Rear yard installations may be approved on a case-by-case basis.

The backboard may not be installed directly garage.

SECTION FIVE: OTHER STANDARDS

Portable basketball standards are allowed but must conform to all above criteria of color and location.

Information Needed with Submittal for Basketball Standard

Two copies of a final survey must be submitted with your house footprint indicating the exact location of the proposed basketball standard on your lot. Also identify any nearby flowers or bushes on neighboring lots which could be impacted by your installation and identify how you will protect them.

Submit the complete details of your proposed basketball standard including photographs or catalog cut sheets of the exact make and model you propose to install. Please use AMR Form located at SOPOA.org

SIGNS- "FOR SALE" OR "FOR LEASE"

There is only one approved and standard "For Sale" and "For Lease" sign for use in Seven Oaks. This is to create uniformity in the design and look of this type of sign so as not to detract from the harmony and continuity of the aesthetics of the community. Therefore, any deviation or modification of the approved sign is prohibited.

The design and specifications for the approved sign are:

1. There shall be only one (1) sign per lot and shall remain only while the Lot Owner is actively trying to sell or lease the property.
2. The signpost shall be a 4x4 pressure treated post with a protruding arm of 28 inches, making it in the form of an inverted "L" or half "T", and painted black gloss finish.
3. The post shall be set in the ground approximately 24 inches or sufficient depth so that the sign will not fall or blow over in normal winds. Overall height of the sign above ground shall not exceed 60 inches. Sign location shall be in the front lawn of the property, approximately centered between the edge of the driveway and the middle of the dwelling and four (4) to six (6) feet behind ("the house side") the public sidewalk.
4. The sign shall be 24 inches by 24 inches including an arch or half circle on the top of the sign, on .040 Aluminum, black gloss finish with copy on both sides.
5. The arch at the top of the sign shall contain the words "Seven Oaks". Below it in the customized style of letters will state "For Sale", "For Lease" or "For Sale/Lease. "The sign will state the real estate company name and telephone number, including the agent's name if there is enough space on the sign, or the Owner's name or the words "By Owner" and telephone number if offered by the Lot Owner. No realtor firm logos allowed on the sign.

SECTION FIVE: OTHER STANDARDS

6. All lettering, phone numbers, and the border around the sign edge shall be metallic gold.
7. The sign shall be attached to the protruding arm by 2 black chains and the bottom of the sign shall be 30-36 inches above the ground.
8. No other signs, bills, posters, boxes, tubes, or appendages may be attached to the sign except that one (1) "rider" (attachments) may be secured to the bottom of the sign to indicate some special or particular feature of the property, for example: pool, spa, number of bedrooms or baths, etc. This "rider" shall be in the same colors (black background with gold lettering) as specified in the above paragraphs 2 and 6 and shall not exceed 24 inches long (or the width of the sign) by six (6) inches high. A black colored plastic tube or box may be attached to the post in which the owner or agent can place information sheets about the home.
9. Except as provided for in these documents or otherwise approved by the developer or DRC, no other signs, flags, banners, or advertising devices may be placed on or about any Lot, attached to or part of any structure, located in or about windows, located within road right-of ways or Common Areas, or placed on or about the property.
10. In the event of damage or vandalism, Owner shall, immediately, have the sign restored to the original and approved condition or remove the sign until such necessary repairs or replacement of the sign have been made.
11. Any sign, flag, banner, or advertising device in violation of the provisions in this section will be removed and discarded by a representative of the SOPOA Board without prior notice or obligation to the offending party.
12. Located in EXHIBIT E is a drawing of the approved sign. Lot owners can acquire a sign from a company of their choice, provided the sign meets all of the approved specifications.
13. The Declarant reserves the right to erect signs outside the scope of these guidelines.
14. The Board of Directors may, from time to time, revise, amend, alter or otherwise change these sign guidelines per the authority given it in the Association's governing documents.

RECREATION COURTS

Recreation Courts are not permitted including but not limited to Tennis Courts, Basketball Courts, and/or Pickle Ball Courts.

SECTION SIX: COMMUNITY MAP
SEVEN OAKS MAP

SEVEN OAKS



This conceptual rendering is designed to provide a general overview of the community and is subject to change without notice. For exact representations of lots, dimensions, easements, streets, parks, trails, landscaping, wetlands, wall systems, Sports Core and other physical features and structures, please refer to the recorded plat and approved architectural drawings

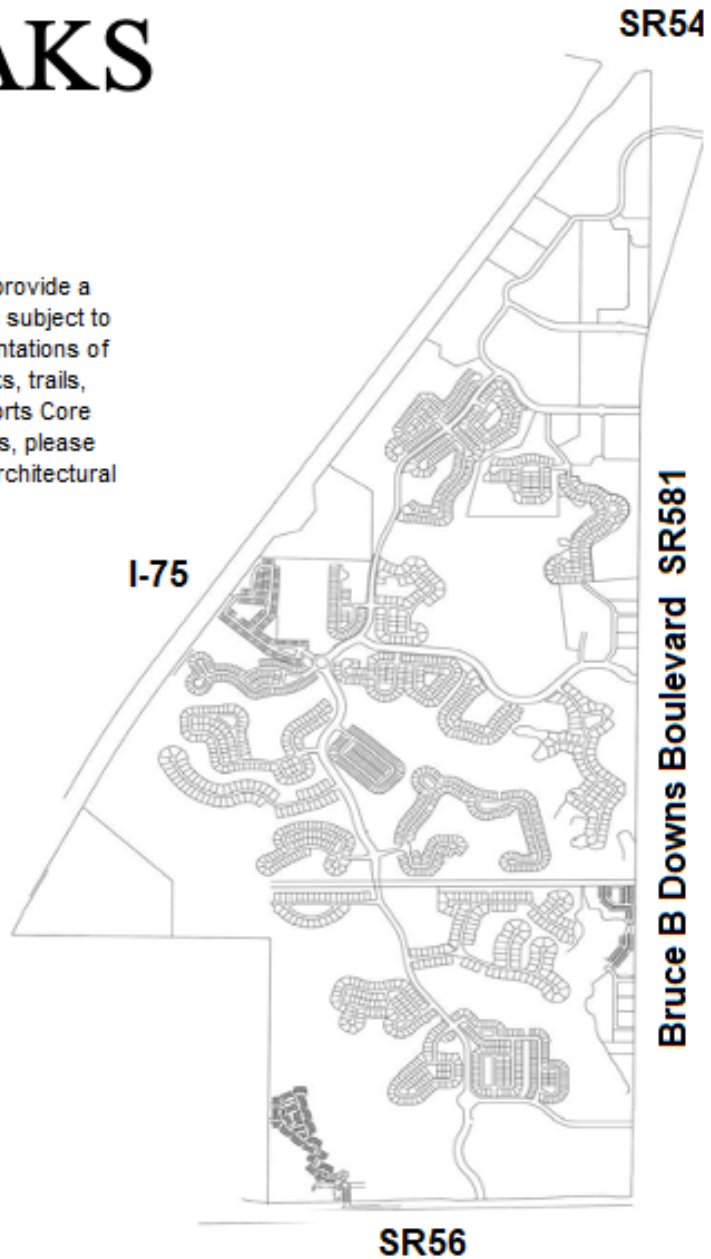


EXHIBIT A

MAILBOX SPECIFICATIONS

**SEVEN OAKS
MAILBOX
STANDARDS**

1. 3" x 6' extruded aluminum pole in black
2. Cast aluminum finial and bracket in black.
3. #1 Aluminum Mailbox in black.
4. 2 sets 3" vinyl numbers in reflective gold.
5. Aluminum flag in gold, red or green.



Replacement mailboxes may be obtained from the following vendor:

If purchasing from
another vendor,
please follow
specifications exactly.

Creative Mailbox & Sign Designs
13910 Lynmar Blvd.
Tampa, FL 33626
Phone: (813) 818-7100
Fax: (813) 818 -7200

EXHIBIT B**ANTENNA & SATELLITE DISH PROCEDURES**

The purpose of the Antenna & Satellite Dish Procedures is to maintain aesthetic quality and property values of the homes in Seven Oaks and to preserve the safety of the residents in the community while not precluding any resident from receiving an acceptable quality broadcast signal pursuant to FCC rules and regulations.

RULES:

1. As to those specific dishes, antennas and receivers provided for in the FCC rules, including satellite-dishes less than one meter in diameters and MMDS antennas and receivers (wireless cable) less than one meter in diameter, an Architectural Modification Require
However, the homeowner should make every effort to have the dishes and antenna installed in the least visible place possible and to incorporate measures to screen or minimize the visibility of the installation so long as this does not unreasonably increase the cost of installation.
An owner is required to utilize the most acceptable location unless an acceptable signal cannot be received from such location. If the Association determines that a more acceptable location could be utilized without impairing the signals then it may require the owner to relocate the antenna or dish.

The preferred locations for installations are as follows:

- a. First Choice Location: Inside the dwelling if an acceptable signal can be obtained.
 - b. Second Choice Location: On the exterior of the home in a location not visible from roadways and common areas.
 - c. Third Choice Location: On the side of the home.
 - d. Least Acceptable Location: In a very visible location or on the front of the home.
2. Satellite dishes, antennas and receivers not specifically provided for in the rules of the Federal Communications Commission (FCC), effective October 14, 1996, must obtain prior approval through the Design Review Committee and the Board of Directors, in accordance with the restrictions and procedures in effect at the time of the application, at Seven Oaks. An AMR must be submitted for these types of satellite dishes, antennas and receivers.
 3. The following rules will be followed for all dishes, antennas or receivers:
 - a. No dishes, antennas or receivers shall extend to any height or length greater than necessary to receive an acceptable, quality broadcast

EXHIBIT B

signal.

- b. Due to safety concerns relating to wind loads, and the risk of falling or flying structures, any installation that will extend more than twelve feet above the roof line must be submitted with detailed drawings of the structure and with methods of anchorage including the certification from a licensed contractor that such plans properly address any safety concerns.
- c. All installations are to be completed in a manner that will cause the least adverse visual impact to neighboring properties, while still allowing an acceptable quality signal and not imposing any unreasonable increases in cost. Therefore, if the installation will be visible from neighboring properties, the Association may require screening measures, or painting in a color compatible with the building in order to minimize any adverse impact.
- d. Antennas and satellite dishes shall be installed and secured in a manner that complies with all applicable codes, including hurricane and windstorm, safety ordinances, city and state laws and regulations, and in accordance with manufacturer's instructions. The owner, prior to installation, shall provide the Association with a copy of any applicable governmental permit. All contractors responsible for installation shall be licensed and insured.
- e. Unless the above-cited codes, safety ordinances, laws and regulations require a greater separation, antennas and satellite dishes shall not be placed within two feet of electrical power lines (above-ground or buried) and in no event shall antennas or satellite dishes be placed where they may come into contact with electrical power lines. The purpose of this requirement is to prevent injury or damage resulting from contact with power lines.
- f. In order to prevent electrical and fire damage, antennas and satellite dishes shall be permanently and effectively grounded.
- g. No homeowner may install or maintain more than one antenna or satellite dish on their property at any time, unless such installation is shown by the owner to be necessary in order to receive services that the owner is entitled to receive under federal law.
- h. Owners are responsible for all costs associated with the antenna or satellite dish including but not limited to costs to:
 - I. place (or replace), repair, maintain, and move or remove antennas or satellite dishes
 - II. repair damages to any areas of common responsibility damaged by the installation, maintenance or use of antennas or satellite dishes

EXHIBIT B

- III. otherwise reimburse residents or the Association for damages caused by the installation, maintenance or use of antennas or satellite dishes.
- i. Owners shall not permit their antennas or satellite dishes to fall into disrepair or to become safety hazards. Owners shall be responsible for antenna maintenance and repair. Owners shall be responsible for repainting or replacement if the exterior surface of antennas or satellite dishes deteriorates.

ENFORCEMENT:

1. Any violation of these rules will subject the lot owner to sanctions, including attorneys' fees and all other remedies provided for in the Association's documents.
2. If any portion or section of these rules is determined to be unenforceable or invalid under applicable law, this shall not affect the validity of the remaining rules and provisions.

EXHIBIT C

EXHIBIT C PLANT MATERIAL PALETTE Canopy Trees

Botanical Name	Common Name	Drought Tolerant	Native
Acer rubrum	Red Maple	No	Yes
Betula nigra	River Birch	No	Yes
Celtis laevigata	Sugarberry	Yes	Yes
Cinnamomum camphora	Camphor Tree	No	No
Cornus florida	Dogwood	Yes	Yes
Diospyros virginiana	Persimmon	Yes	Yes
Gordonia lasianthus	Loblolly Bay	No	Yes
Fraxinus spp.	Ash	Varies	Yes
Juniperus silicicola	Southern Red Cedar	Yes	Yes
Liquidambar styraciflua	Sweetgum	Yes	Yes
Magnolia grandiflora	Southern Magnolia	Yes	Yes
Platanus occidentalis	Sycamore	Yes	Yes
Quercus laurifolia	Laurel Oak	Yes	Yes
Quercus shumardii	Shumard's Red Oak	Yes	Yes
Quercus virginiana	Live Oak	Yes	Yes
Salix babylonica	Weeping Willow	No	No
Taxodium distichum	Bald Cypress	Varies	Yes
Ulmus alata	Winged Elm	Yes	Yes
Ulmus parvifolia "Drake"	Drake Elm	Yes	No
Ulmus americana "Floridana"	Florida Elm	Yes	Yes

Understory Trees

BOTANICAL NAME	COMMON NAME	DROUGHT TOLERANT	NATIVE
Callistemon spp.	Bottle-brush Tree	Varies	No
Cercis canadensis	Eastern Redbud	Yes	Yes
Chionanthus virginicus	Fringe Tree	No	Yes
Citrus species	Citrus	Varies	No
Crataegus spp.	Hawthorn	Yes	Yes
Cupressocyparis leylandii	Leyland Cypress	Yes	No
Eriobotrya japonica	Japanese Loquat	Yes	No
Ilex cassine	Dahoon Holly	No	Yes
Ilex x attenuata "E. Palatka"	East Palatka Holly	Fair	Yes
Ilex x attenuata "Savannah"	Savannah Holly	No	Yes
Ilex opaca	American Holly	Yes	Yes
Lagerstroemia indica	Crape Myrtle	No	No
Ligustrum japonicum	Wax Privet	No	No
Ligustrum lucidum	Glossy Privet	No	No
Myrica cerifera	Wax Myrtle	Fair	Yes
Parkinsonia aculeata	Jerusalem Thorn	Yes	No
Prunus angustifolia	Chickasaw Plum	Yes	Yes
Pyrus calleryana "Bradfordii"	Bradford Pear	No	No
Viburnum obovatum	Walter Viburnum Tree	Yes	Yes

EXHIBIT C

PALM TREE ACCENTS

BOTANICAL NAME	COMMON NAME
Acoelorrhaphe wrightii	Paurotis Palm
Butia capitata	Pindo palm
Chamaerops humilis	European Fan
Livistona chinensis	Chinese Fan Palm
Phoenix canariensis	Canary Island Date
Phoenix dactylifera	Medjool Date Palm
Phoenix reclinata	Senegal Date Palm
Phoenix roebelinii	Pygmy Date Palm
Phoenix sylvestris	India Date Palm
Sabal Palmetto	Cabbage Palm
Syagrus romanzoffianum	Queen Palm
Washingtonia robusta	Washingtonioa Palm

NOTE: It is the intent of the Design Review Committee to limit the planting of Palm trees within Seven Oaks. A maximum of three (3) palms, each measuring 14" minimum DBH and ten feet clear trunk height will count towards one (1) canopy tree. It is recommended that palms only be used as accents to supplement the plantings of trees and to give appropriate scale to vertical structures.

Prohibited Plan Material

BOTANICAL NAME	COMMON NAME
Casuarina equisetifolia	Australian Pine
Melaleuca leucadendron	Punk Tree
Schinus terebinthifolius	Brailian Pepper
Melia azedarach	Chinaberry
Dalbergia sisso	Rosewood

Other prohibited species:

Any exotic flowering tree or exotic palm that is not cold tolerant. Such species may be allowed if it is placed in a portable container to be transported indoors by the homeowner during inclement weather.

EXHIBIT C

BOTANICAL NAME	COMMON NAME	DROUGHT TOLERANT	NATIVE
AGARISTA POPULIFOLIA	Pipestem, Fetterbush	No	Yes
ALPINIA SPECIES	Ginger (Variegated)	No	No
ARDISIA ESCALLONIOIDES	Marlberry	Yes	Yes
ASPIDISTRA ELATIOR	Cast Iron Plant	Fair	No
AZALEA "AARON WHITE"	Aaron White Azalea	No	No
AZALEA "DUC DE ROHAN"	Duc de Rohan Azalea	No	No
AZALEA "FORMOSA"	Formosa Azalea	No	No
AZALEA "G.G. GERBING"	Gerbing Azalea	No	No
AZALEA "GEORGE L. TABOR"	George L. Tabor Azalea	No	No
AZALEA "SOUTHERN CHARM"	Southern Charm Azalea	No	No
BOUGAINVILLEA SPECIES	Bougainvillea	Yes	No
CALLICARPA AMERICANA	Beautyberry	Yes	Yes
CALLISTEMON RIGIDUS	Stiff Bottlebrush	Fair	No
CALYCANTHUS FLORIDUS	Sweetshrub	No	Yes
CAMELLIA JAPONICA	Common Camellia	No	No
CAMELLIA SASANQUA	Sasanqua Camellia	No	No
CORTADERIA SELLOANA	Pampas Grass	Yes	No
CRINUM AMERICANUM	String Lily	Fair	No
CRINUM ASIATICUM	Giant Crinum Lily	Fair	No
CUPHEA HYSSOPIFOLIA	Mexican Heather	No	No
CUPRESSUS SEMPERVIRENS	Italian Cypress	Fair	No
CYCAS REVOLUTA	King Sago	Fair	No
CYRTOMIUM FALCATUM	Holly Fern	No	No
DIETES BICOLOR	Yellow Iris	No	No
DIETES VEGETA	White African Iris	No	No
ELAEAGNUS PUNGENS	Silverthorn	Fair	No
EUGENIA UNIFLORA	Surinam Cherry	No	No
EVOLVULUS GLOMERATA	Blue Daze	No	No
FEIJOA SELLOWIANA	Pineapple Guava	Fair	No
GALPHEMIA GRACILIS	Thryallis	No	No
GARDENIA JASMINOIDES	Grafted Gardenia	No	No
GARDENIA RADICANS	Dwarf Gardenia	No	No
GELSEMIUM SEMPERVIRENS	Yellow Jessamine	Yes	Yes
HAMELIA PATENS	Firebush	No	Yes
HELIANTHUS DEBILIS	Dune Sunflower	Yes	Yes
HELICONIA SPECIES	Heliconia	No	No
HEMEROCALLIS SPECIES	Daylily	No	No
HIBISCUS SPECIES	Hibiscus	No	Yes
HYMENOCALLIS LATIFOLIA	Spider Lily	Fair	No
ILEX X ATTENUATA "FOSTERI"	Foster's Holly	No	No
ILEX CORNUTA "BURFORDII"	Dwarf Burford Holly	No	No
ILEX CORNUTA "ROTUNDA"	Globe Holly	No	No
ILEX CRENATA	Japanese Holly	No	No
ILEX "NELLIE R. STEVENS"	Stevens Holly	No	No
ILEX VOMITORIA	Dwarf Yaupon Holly	Yes	Yes
ILLCIUM FLORIDANUM	Anise	No	No
ILLCIUM PARVIFLORUM	Yellow Anise	No	No
IPOMOEA PES-CAPRAE	Railroad Vine	Yes	Yes
JASMINUM MESNYI	Primrose Jasmine	Fair	Fair
JASMINUM MULTIFLORUM	Downy Jasmine	No	No
JASMINUM NITIDUM	Shining Jasmine	Fair	Fair
JASMINUM VOLUBILE	Wax Jasmine	No	No
JUNIPERUS SPECIES	Junipers	Yes	Yes

EXHIBIT C

BOTANICAL NAME	COMMON NAME	DROUGHT TOLERANT	NATIVE
LANTANA SPECIES	Lantana	Yes	Yes
LEUCOPHYLLUM FRUTESCENS	Texas Sage	Fair	Fair
LICANIA MICHAUXII	Gopher Apple	Yes	Yes
LIGUSTRUM JAPONICUM	Wax Privet	No	No
LIGUSTRUM LUCIDUM	Glossy Privet	No	No
LIGUSTRUM SINENSE	Chinese Privet	No	No
LIRIOPE MUSCARI VARIETIES	Liriope	Fair	Fair
LYONIA FERRUGINEA	Rusty Lyonia	Fair	Fair
MANDEVILLA SPECIES	Mandevilla	No	No
MUHLENBERGIA CAPILLARIS	Pink Muhly Grass	Yes	Yes
MYRCIANTHES FRAGRANS	Simpson's Stopper	Yes	Yes
MYRICA CERIFERA	Wax Myrtle	Fair	Fair
NANDINA DOMESTICA	Heavenly Bamboo	No	No
NEPHROLEPIS SPECIES	Swordfern	No	No
NERIUM OLEANDER	Oleander	Yes	Yes
OPHIOPOGON JAPONICUS	Mondo Grass	Fair	Fair
OSMUNDA REGALIS	Royal Fern	No	No
PENNISETUM SETACEUM	Fountain Grass	Fair	Fair
PENTAS LANCEOLATA	Egyptian Star Flower	No	No
PHILODENDRON SELLOUM	Split-leaf Selloum	No	No
PHILODENDRON XANADU	Xanadu	No	No
PITTOSPORUM TOBIRA	Fair	No	No
PLUMBAGO AURICULATA	Fair	No	No
PODOCARPUS MACROPHYLLUS	Yew Podocarpus	No	No
PORTULACA GRANDIFLORA	Rose Moss	Fair	Fair
PTERIDIUM AQUILINUM	Bracken Fern	Yes	Yes
PURSLANE	Purslane	No	No
PYRACANTHA COCCINEA	Pyracantha	Fair	Fair
PYROSTEGIA VENUSTA	Flame Vine	Fair	Fair
RHAPHIOLEPIS INDICA	Indian Hawthorn	No	No
RHAPHIOLEPIS UMBELLATA	Yeddo Hawthorn	No	No
RUELLIA SPP.	Ruellia	No	Yes
SAGITTARIA LANCIFOLIA	Arrowhead	No	Yes
SANSEVIERIA TRIFASCIATA	Snake Plant	Fair	No
SIDEROXYLON SPP.	Bumelias	Yes	Yes
SERENOA REPENS	Saw Palmetto	Yes	Yes
SETCREASEA PURPUREA	Purple Queen	Fair	No
SPARTINA SPECIES	Cordgrass	Yes	Yes
STRELITZIA NICHOLAI	White Bird	No	No
STRELITZIA REGINAE	Bird of Paradise	No	No
TIBOUCHINA SPECIES	Purple Glory Bush	No	No
TRACHELOSPERMUM ASIATICUM	Minima Jasmine	No	No
TRACHELOSPERMUM JASMINOIDES	Confederate Jasmine	No	No
TRIPSACUM DACTYLOIDES	Fakahatchee Grass	Yes	Yes
TRIPSACUM FLORIDANUM	Florida Grama Grass	Yes	Yes
TULBHAGIA VIOLACEA	Society Garlic	No	No
VACCINIUM DARROWII	Blueberry	No	Yes
VIBURNUM OBOVATUM	Walters Viburnum	Yes	Yes
VIBURNUM ODORATISSIMUM	Sweet Viburnum	No	No
VIBURNUM SUSPENSUM	Sandankwa	No	No
ZAMIA FURFURACEA	Cardboard Plant	Yes	No

EXHIBIT C

BOTANICAL NAME	COMMON NAME	DROUGHT TOLERANT	NATIVE
ZAMIA PUMILA	Coontie	Yes	Yes

There are many native wildflowers and perennials that may be used as bedding plants in lieu of turf grass for a variety of color and interest. Some of these are: Butterfly Weed, Climbing Aster, Sea Ox-Eye Daisy, Florida Paintbrush, Partridge Pea, Golden Aster, Ageratum, Coreopsis, String Lily, Purple Coneflower, Gaillardia, Beach Sunflower, Iris, Liatris, Cardinal Flower, Black-Eyed Susan, Salvia, Blue-Eyed Grass, and Verbena. Bedding Plants are to be mulched with a 3" layer of mulch and maintained to present an aesthetically pleasing appearance without being in an overgrown condition and shall not encompass more than 25% of the pervious planted "front yard." Plants shall be spaced so that the plant bed is uniformly planted.

NOTE: Consult with your Landscape Architect for locations of proposed plantings and selection of native/drought tolerant species from the above list. Some species on the above list may be dam-aged from low or freezing temperatures. Also consult with your Landscape Architect about plant material selection when using reclaimed water. The Design Review Committee makes no written or implied guarantees regarding use of the above Plant Palette materials for specific sites within Seven Oaks

EXHIBIT D

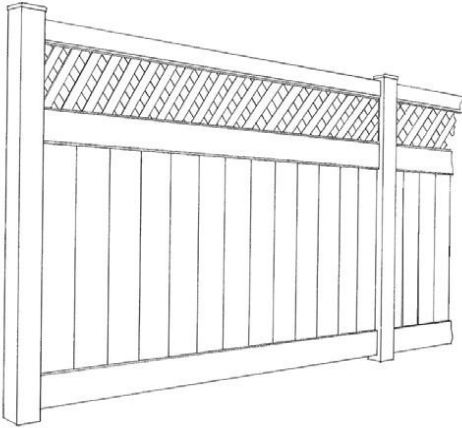
EXHIBIT D

PVC FENCE SPECIFICATIONS

The approved fencing standard is solid-wall 100% virgin PVC fence that is constructed from high-quality materials, stabilizers and modifiers throughout the entire extruded profile. No PVC co- extrusions or vinyl-clad wood products will be permitted.

All fences must be approved by the Seven Oaks Design Review Committee.

PRIVACY



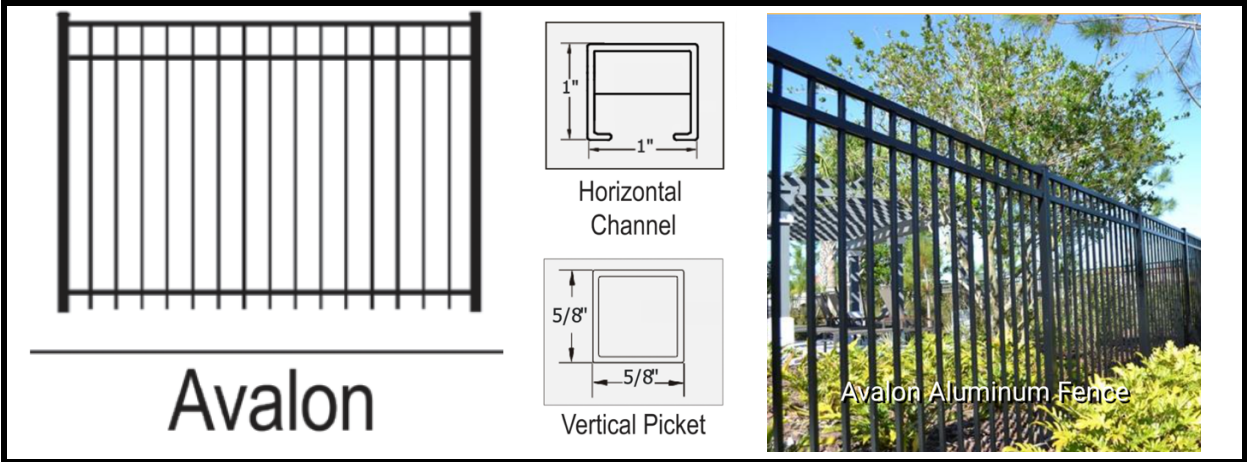
At Left:
Six-foot PVC
privacy fence with



At
Right:
Traditional-

The above fence is the permitted six foot (6') privacy fence for Seven Oaks neighborhoods.
Privacy fencing is permitted only in certain areas. Please refer to

POWDER COATED ALUMINUM FENCE SPECIFICATIONS



The diagram shows the 'Avalon' aluminum fence design. It includes a perspective view of the fence, a cross-section of the horizontal channel with dimensions of 1" height and 1" width, and a cross-section of the vertical picket with dimensions of 5/8" height and 5/8" width. A photograph of the installed fence is also included, labeled 'Avalon Aluminum Fence'.

EXHIBIT D

CONTAINMENT



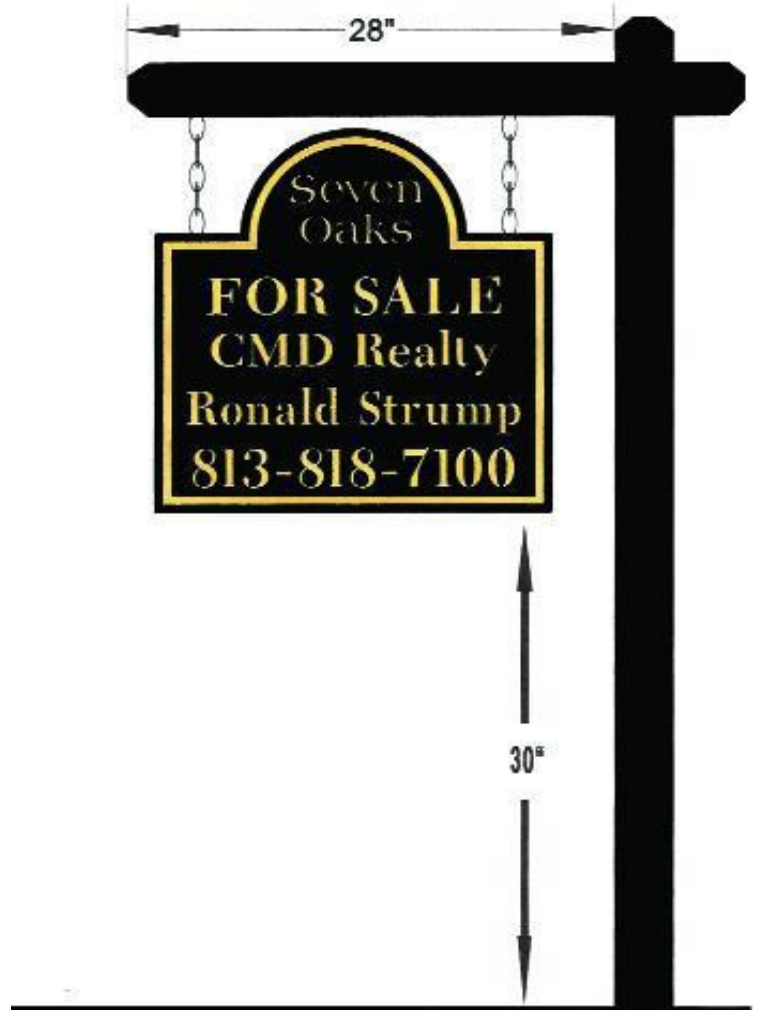
Two styles of forty-eight inch (48") containment fence are approved

EXHIBIT E

SIGNS- "FORSALE" OR "FORLEASE"

**"FOR SALE"
OR "FOR LEASE" SIGN
SPECIFICATIONS**

1. Signs may be acquired from any vendor but specifications must be followed exactly. 23" x 23" x .040" Black Powder-Coated Aluminum Double-sided Sign
2. Copy and Border: Metallic Gold
3. 4" x 4" Pressure-treated Post Painted Black



24" of post
to be in-ground

The following vendor is a supplier of approved signs:

Signs by Tomorrow
4520 W. Kennedy Blvd
Tampa, FL 33609 813-639-0066

An order form for Creative Mailbox & Sign Designs may be obtained online at www.sopoa.org

EXHIBIT E